



mesa·az *Design Review Board*

Staff Report

CASE NUMBER: DRB18-00055
LOCATION/ADDRESS: 1110 S. Greenfield Road
(North of the northwest corner of Greenfield Road and Southern Avenue)
REQUEST: Increase allowable height for rooftop open space feature for an office/retail building within the LC PAD zoning district
COUNCIL DISTRICT: District 2
OWNER: Aqua Tots – Paul Preston
APPLICANT: Ted Peterson
STAFF PLANNER: Ryan McCann

SITE DATA

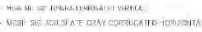
PARCEL NO.: 140-48-129
PARCEL SIZE: 1.0 ± acres
EXISTING ZONING: LC-PAD
GENERAL PLAN CHARACTER: Neighborhood Village
CURRENT LAND USE: Vacant

SITE CONTEXT

NORTH: Existing Office – Zoned OC-PAD
EAST: (Across S. Greenfield Road) Existing Multi-Residential – Zoned RM-2 PAD
SOUTH: Existing Retail – Zoned LC-PAD
WEST: Existing Office – Zoned OC-PAD

PROJECT DESCRIPTION

The applicant is proposing a new building with a rooftop open space feature with a maximum height of thirty-seven feet six inches (37'6"). The current maximum allowable height for a rooftop open space feature is twenty percent (20%) of the base maximum building height, which is thirty feet (30'), allowing for an increase to the maximum height up to six feet (6'). The applicant is requesting the additional one foot six inches (1'-6") to keep the height in line with the elevator and stair case tower, which are permitted to go above the maximum allowed height by twelve feet (12'). They feel that the continuous element creates a stronger architectural feature and enhances the overall design of the building.



STAFF ANALYSIS

Chapter 11-30-3.C of the Zoning Ordinance gives the Design Review Board the authority to approve additional exceptions to the height limits specified in the Ordinance. This development is subject to the Greenfield Court Design Guidelines which encourage a variety of architectural expressions that are unified by common elements of design and landscaping. The rooftop open space feature is setback from the edge of the roof which helps reduce the impact of the additional height. Staff agrees with the applicant that creating this extension of the stair tower as an architectural element is appropriate and works well with the overall building design.

CONCLUSION:

Staff recommends approval with the following conditions:

CONDITIONS OF APPROVAL:

1. Compliance with the basic development as described in the project narrative and as shown on the plans submitted.
2. Compliance with all requirements of the Design Review process and subsequent Administrative Review process for site plan approval.
3. Compliance with all City development codes and regulations.

CITY OF MESA GENERAL NOTES

1.

ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2.

SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT (480)644-4273 OR AT [HTTP://WWW.MESAAZ.GOV/DEVSUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaaz.gov/devsustain/constructionpermits.aspx). THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
3.

TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING DEPARTMENT AT (480)644-2251 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR (CITY INSPECTOR). FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
4.

CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
5.

THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
6.

THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
7.

THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN CORRECTLY PLOTTED/SHOWN.
8.

THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE CITY'S ENGINEERING DEPARTMENT.
9.

THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATIONS BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
10.

THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
11.

THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
12.

THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL (602)263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
13.

WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 64-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
14.

CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
15.

IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
16.

IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE CITY INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.
17.

THE CONTRACTOR IS ADVISED THAT DAMAGE TO PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. UNLESS OTHERWISE APPROVED BY THE CITY, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES AND SYSTEMS AS A RESULT OF CONTRACTOR'S ACTIVITIES SHALL BE BORNE BY THE CONTRACTOR.

PRELIMINARY GRADING & UTILITY PLAN

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 1 NORTH,
RANGE 6 EAST OF THE G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA
1110 S. GREENFIELD RD.
MESA, AZ 85206

CITY OF MESA PUBLIC WATER UTILITY NOTES

1.

ALL PUBLIC WATER MAIN MATERIALS SHALL BE PER SECTION 610.3 OF THE M.A.G. UNIFORM STANDARD SPECIFICATIONS. ALL DUCTILE IRON PIPE (D.I.P.) WATER MAINS SHALL HAVE POLYETHYLENE CORROSION PROTECTION PER SECTION 610.5 OF M.A.G. UNIFORM STANDARD SPECIFICATIONS.
2.

ALL NEW WATERLINES THAT REQUIRE SERVICE DISRUPTION IN ORDER TO CONNECT TO THE CITY SYSTEM SHALL REQUIRE A DAYTIME TIE-IN. THE CONTRACTOR SHALL COMPLETE ALL WORK NECESSARY TO RESTORE UTILITY SERVICE AND FULLY OPEN THE TIE-IN AREA TO VEHICULAR TRAFFIC WITHIN THE TIME FRAME ALLOWED BY THE CITY INSPECTOR.
3.

THE CONTRACTOR SHALL INSTALL A TEMPORARY PLUG OR VALVE ON A SECTION OF NEW WATER LINE TO TEST LINES BEFORE CONNECTING TO THE EXISTING PUBLIC WATER SYSTEM WHERE THERE IS NO WATER VALVE ON THE EXISTING LINE.
4.

WATER LINE TESTS SHALL BE CONDUCTED SO THAT EXISTING WATER LINES WILL NOT BE INCLUDED IN THE TEST OF THE NEW LINE.
5.

THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE A MANUFACTURER AND MODEL DESIGNATED IN THE CURRENT "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES" AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
6.

THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA "LIST OF APPROVED INSPECTORS" PRIOR TO THE REQUEST FOR FINAL INSPECTION.
7.

IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1, 1993, WHICH MAY COME INTO CONTACT WITH DRINKING WATER, SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.
8.

PER CITY ORDINANCE NO. 2341, ALL WATER METERS ARE TO BE PURCHASED FROM THE CITY OF MESA. METERS TWO INCHES OR LESS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS LARGER THAN TWO INCHES WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES. (CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT 480-644-4273 FOR THE SPECIFIC PROCEDURE).

ENGINEERS NOTES

1.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS BASED ON INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS AND STRUCTURES IN ADVANCE OF ANY CONSTRUCTION AND TO OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO SUCH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. THE ENGINEER AND/OR OWNER CANNOT GUARANTEE ANY LOCATIONS SHOWN ON THESE PLANS OR THESE OMITTED FROM SAME.
2.

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
3.

OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
4.

CONTRACTOR SHALL REPLACE OR REPAIR TO ACCEPTABLE QUALITY STANDARDS AT HIS COST DAMAGED EXISTING IMPROVEMENTS THAT BECOME DAMAGED OR ALTERED IN THE COURSE OF CONSTRUCTION.
5.

THIS PLAN IS NOT INTENDED TO BE A DEMOLITION PLAN. CERTAIN ITEMS MAY EXIST ON THE PROJECT SITE, INCLUDING CURBING, ASPHALT, TREES, CONCRETE, ETC. WHICH REQUIRE REMOVAL AND ARE NOT DEPICTED ON THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM A FIELD INSPECTION, REVIEW THE TOPOGRAPHIC SURVEY, AND DETERMINE THE EXTENT OF REMOVALS REQUIRED AND PREPARE THEIR BID ACCORDINGLY.
6.

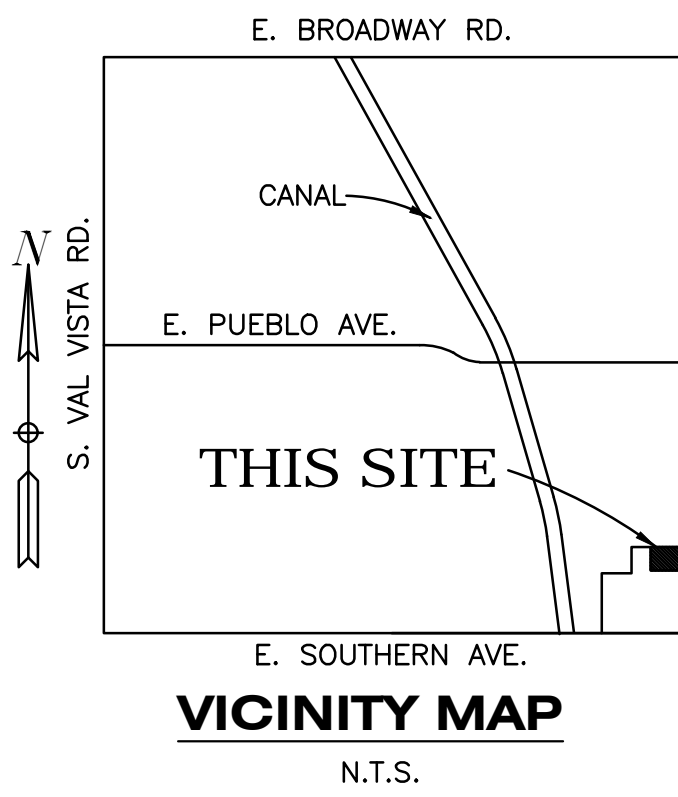
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
7.

ALL PROPOSED GRADES AS SHOWN ON THIS PLAN ARE FINISHED GRADES. THE CONTRACTOR SHALL DIRECT THE SURVEY STAKING CREW TO STAKE LANDSCAPE AREAS TO BE OVERCUT AS DEEMED APPROPRIATE SO THAT THE FINISHED GRADES WILL MATCH THOSE GRADES AS SHOWN ON THE PLANS AFTER COMPLETION OF THE LANDSCAPING. SPECIAL CARE SHALL BE EXERCISED TO ENSURE PROPER FINISHED GRADES IN THE RETENTION AREAS AND DRAINAGE SWALES.
8.

ANY QUANTITIES SHOWN ON THESE PLANS ARE FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO PLACING BIDS.
9.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID BASED THEREON. IMPORTED FILL MATERIAL, HAULING/HANDLING AND COMPACTION TO BE INCLUDED IN THE EARTHWORK BID.
10.

SHOULD THE CONTRACTOR/SUBCONTRACTOR DISCOVER THAT ANY PORTION OF THIS PROJECT CANNOT BE CONSTRUCTED TO PLAN, HE SHALL CONTACT JARRETT ENGINEERING, LLC. IMMEDIATELY FOR RESOLUTION.



LEGAL DESCRIPTION

LOT 14, FINAL PLAT OF GREENFIELD COURT, ACCORDING TO BOOK 643 OF MAPS, PAGE 09, RECORDS OF MARICOPA COUNTY, ARIZONA.

OWNER

AQUA TOTS SWIMSCHOOL HOLDING, LLC
1122 S. GREENFIELD RD.
MESA, AZ 85206

SITE DATA

1110 S. GREENFIELD RD.
APN: 140-48-129
ZONING: LC
TOTAL NET AREA = 46,142 S.F.
= 1.0592 AC

ARCHITECT

PF DESIGN GROUP
4835 E. INDIGO ST. SUITE 106
MESA, AZ 85205
P: 480-586-8119
EMAIL: pfdesigngroup@outlook.com

CIVIL ENGINEER

JARRETT ENGINEERING, LLC
7650 S. MCCLINTOCK DR. STE 103
PMB #285
TEMPE, AZ 85284
P: 480-900-8530
F: 480-900-8531
EMAIL: rob@jarrettengineering.net

BENCHMARK

BRASS TAG ON TOP OF CURB AT THE NORTHEAST CORNER OF THE INTERSECTION OF GREENFIELD ROAD AND SOUTHERN AVE.
ELEV = 1291.78 (C.O.M. NAVD 88 DATUM)

SURVEY NOTE

TOPOGRAPHY SURVEY WAS PERFORMED BY JEFFREY M. FLAHART R.L.S. 34711 DURING THE MONTH OF NOVEMBER, 2017.

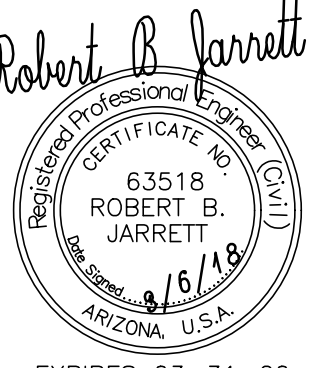
FLAHART BROTHERS COMPANIES
1747 N. ACACIA
MESA, AZ 85213
P: 602-376-8630
email: jmf.fbc@cos.net

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AND SURVEY MONUMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR _____ DATE _____

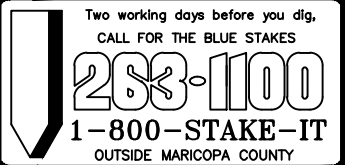
REGISTRATION NUMBER _____

REVISIONS	
NO.	DATE
	

JARRETT
ENGINEERING, LLC.
7650 S. McClintock Dr. Ste 103 - PMB 285
Tempe, Arizona 85284
PH (480) 900-8530 FAX (480) 900-8531

PRELIMINARY GRADING & UTILITY PLAN

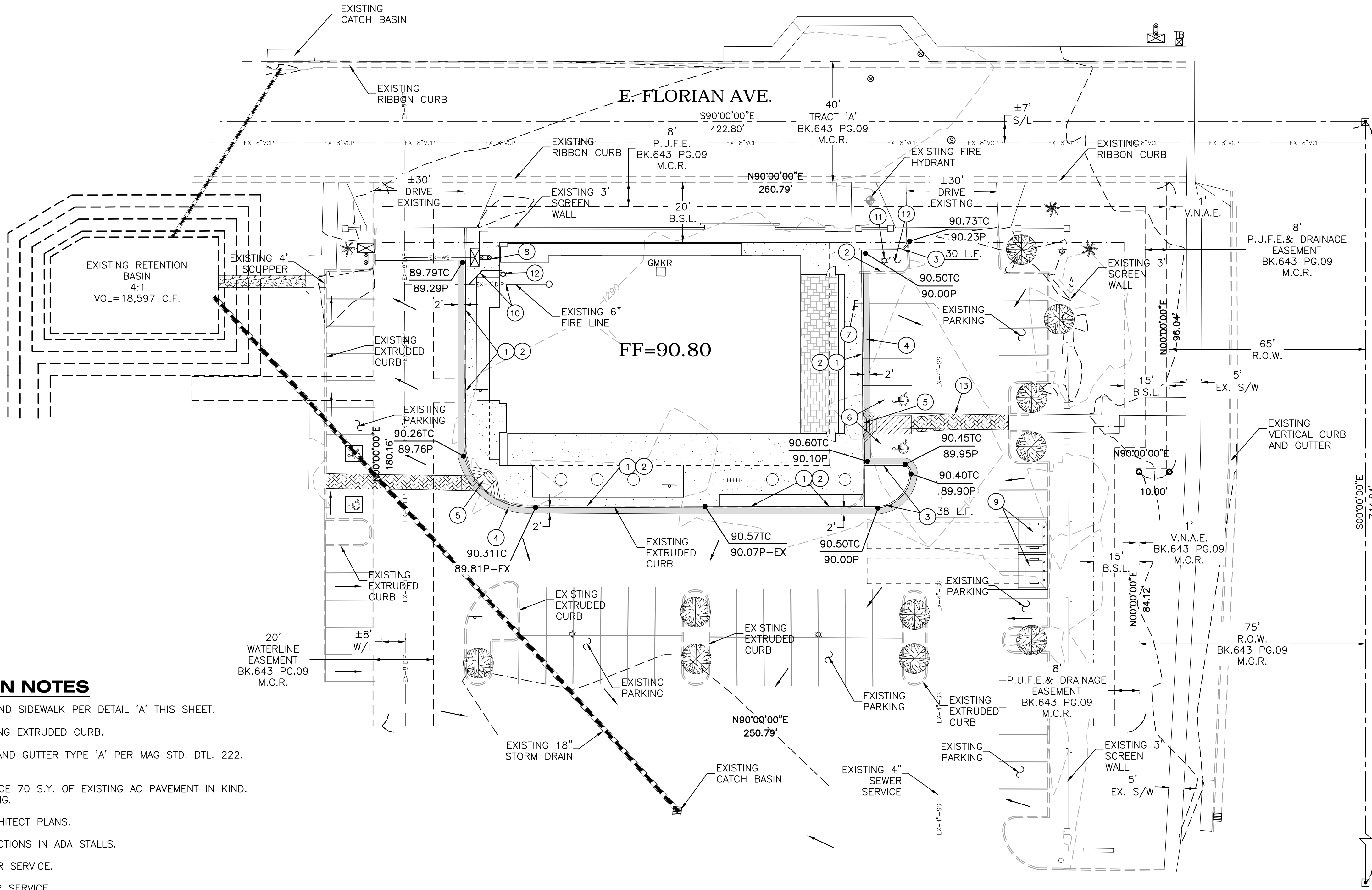
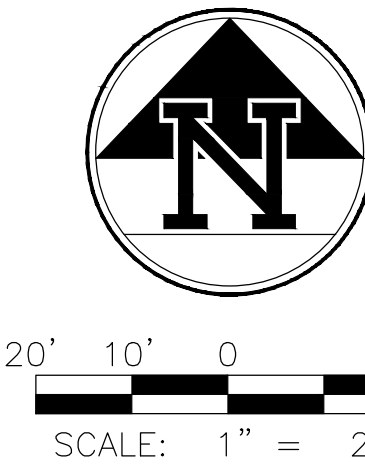
AQUA TOTS
1110 S. GREENFIELD RD.
MESA, AZ 85206



JOB NO.	10158
DRAWING	G&D
DRAWN	RBJ
CHECKED	RBJ
DATE	03-06-18

DRAINAGE NOTE

1. EXISTING RETENTION BASIN PROVIDES ON-SITE RETENTION FOR ENTIRE COMMERCIAL COMPLEX. REFER TO GRADING & DRAINAGE PLANS FOR GREENFIELD COURT PREPARED BY HUNTER ENGINEERING, DR04-46.

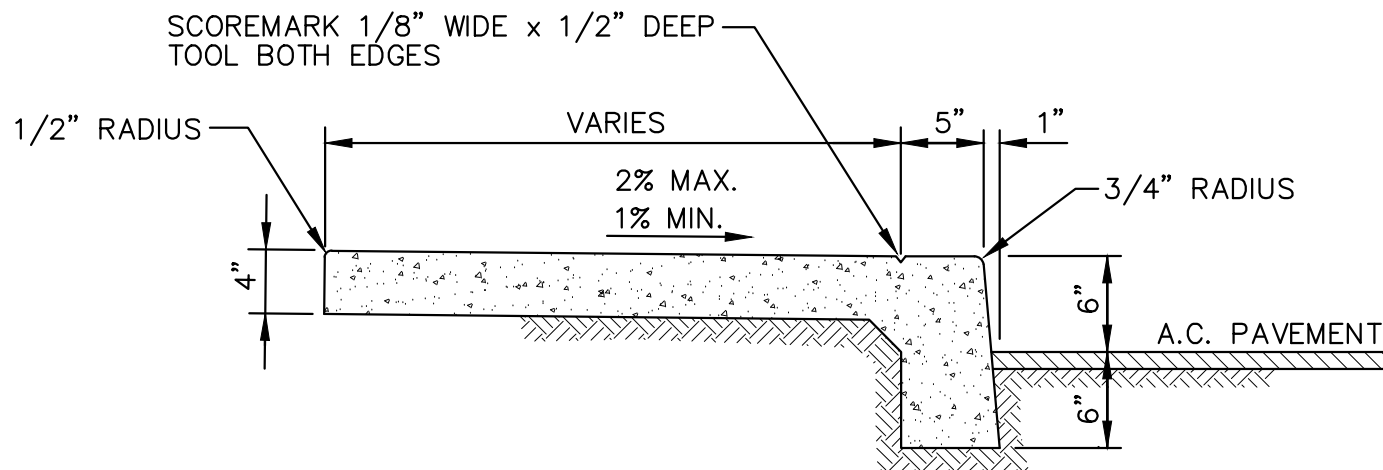


LEGEND

- FOUND BRASS CAP IN HAND HOLE
- FOUND BRASS CAP FLUSH
- FOUND REBAR
- WATER SERVICE
- FIRE HYDRANT
- WATER VALVE
- SEWER MANHOLE
- R.O.W. RIGHT OF WAY
- B.S.L. BUILDING SETBACK LINE
- M.C.R. MARICOPA COUNTY RECORDER
- G FINISHED GRADE
- P FINISHED PAVEMENT GRADE
- C FINISHED CONCRETE GRADE
- FF FINISHED FLOOR GRADE
- TC FINISHED TOP OF CURB GRADE
- TW TOP OF WALL
- 00.00G-X FINISHED GRADE N, S, E, W
- TELEPHONE J-BOX
- ELECTRIC TRANSFORMER
- EXISTING GRADE
- PROPOSED FINISHED GRADE
- G.B. GRADE BREAK
- PROPERTY LINE
- LIGHT POLE
- HANDICAPPED SPACE
- GAS MARKER

CONSTRUCTION NOTES

- INSTALL INTEGRATED CURB AND SIDEWALK PER DETAIL 'A' THIS SHEET.
- SAWCUT AND REMOVE EXISTING EXTRUDED CURB.
- INSTALL 6" VERTICAL CURB AND GUTTER TYPE 'A' PER MAG STD. DTL. 222. LENGTH PER PLAN.
- SAWCUT REMOVE AND REPLACE 70 S.Y. OF EXISTING AC PAVEMENT IN KIND. TACK AND MATCH TO EXISTING.
- INSTALL ADA RAMP PER ARCHITECT PLANS.
- 2% MAX SLOPE IN ALL DIRECTIONS IN ADA STALLS.
- CONNECT TO EXISTING SEWER SERVICE.
- CONNECT TO EXISTING WATER SERVICE.
- INSTALL TRASH ENCLOSURE PER C.O.M. STD. DTL. M-62.02.1 WITH DRAINAGE OPENINGS.
- REMOVE ±25 L.F. OF EXISTING 6" DIP FIRE RISER. INSTALL 13 L.F. OF 6" DIP TO FIRE RISER ROOM. TERMINATE FIRE LINE AT 0.5' ABOVE FINISH FLOOR ELEVATION. (REFER TO ARCHITECTURAL AND FIRE PROTECTION PLANS FOR EXACT LOCATION AND CONTINUATION)
- REMOVE EXISTING LIGHT POLE.
- INSTALL 5 S.Y. OF 2" AC ON 6" ABC PER RECOMMENDATION BY GEOTECH REPORT PREPARED BY R.A.M. DATED 5-21-01 PROJ# G06235.
- REMOVE AND REPLACE PAVERS AS NEEDED TO RE-ALIGN WALKWAY.



MONOLITHIC TURN-DOWN CURB AND SIDEWALK

N.T.S.

REVISIONS

NO.	DATE

Robert B. Jarrett

Professional Engineer
63518
ROBERT B. JARRETT
1/16/16
ARIZONA, U.S.A.
EXPIRES 03-31-20

JARRETT ENGINEERING, LLC.

63518
ROBERT B. JARRETT
1/16/16
ARIZONA, U.S.A.
EXPIRES 03-31-20

7650 S. McClintock Dr. Ste 103 - PMB 285
Tempe, Arizona 85284
PH (480) 900-8530 FAX (480) 900-8531

PRELIMINARY GRADING & UTILITY PLAN

AQUA TOTS

1110 S. GREENFIELD RD.
MESA, AZ 85206

J233-1100

1-800-STAKE-IT

JOB NO. 10158

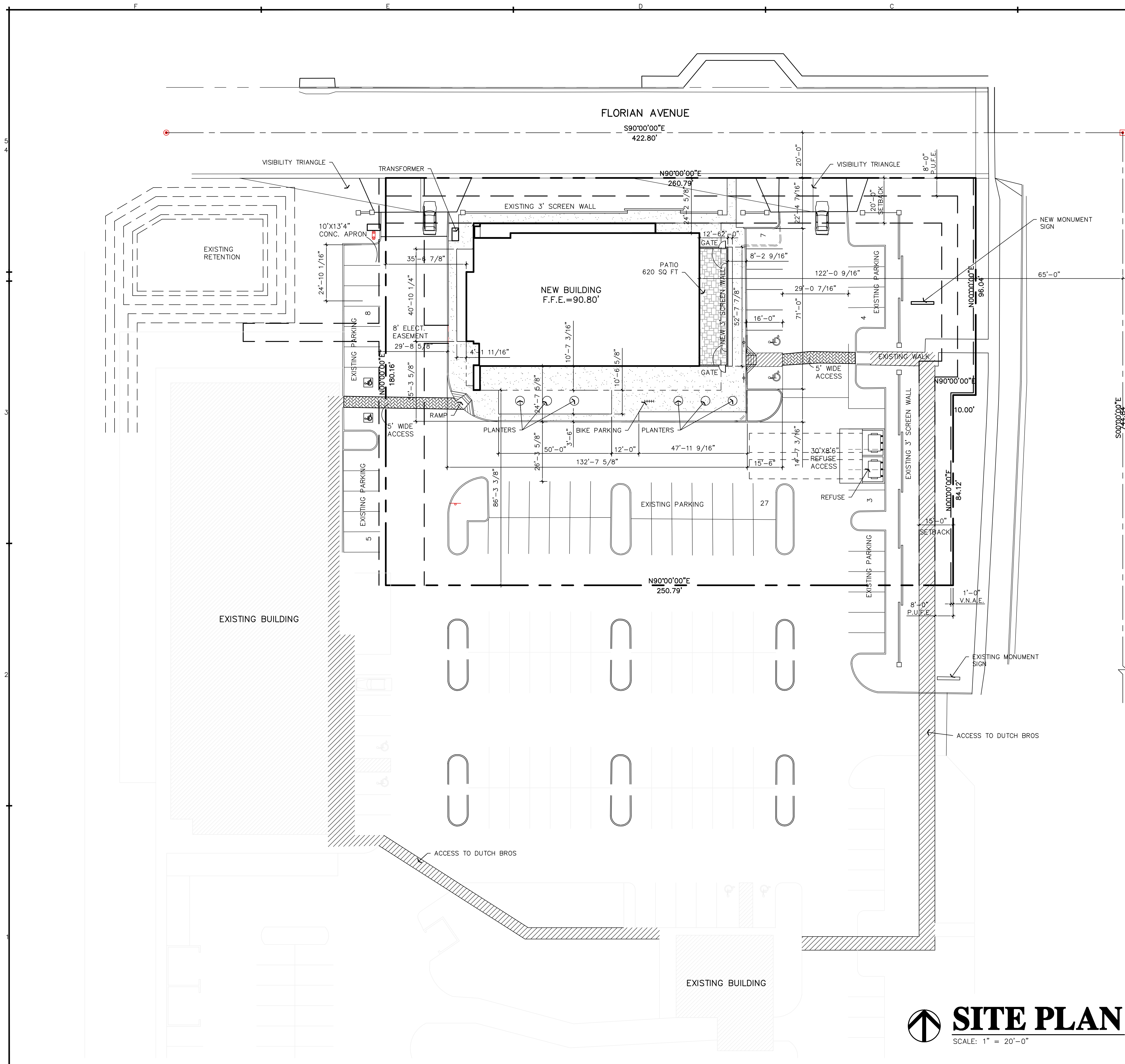
DRAWING G&D

DRAWN RBJ

CHECKED RBJ

DATE 03-06-18

SHEET 2 OF 2



PROJECT DATA

OWNER: AQUA-TOTS SWIM SCHOOL HOLDING LLC
CONTACT: RON SCARRO
ADDRESS: 1110 SOUTH GREENFIELD ROAD, MESA, AZ 86206
PHONE: 480.688.9494
OFFICE: 480.621.3226 EXT. 11
FAX: 480.649.2897

NAME OF PROJECT: AQUA-TOTS HEADQUARTERS
ADDRESS: 1122 SOUTH GREENFIELD ROAD, MESA

SCOPE OF WORK: NEW 2-STORY BUILDING TO HOUSE OFFICES ON THE SECOND FLOOR AND UNFINISHED SUITES ON THE 1ST FLOOR.

SQUARE FOOTAGE:
FIRST FLOOR:(RETAIL) 4,902 SQ FT AND (OFFICE) 998 SQ FT
SECOND FLOOR: (OFFICE) 6,600 SQ FT
TOTAL = 12,500 SQ FT
ROOF DECK: 3,452 SQ FT
PATIO: 658 SQ FT

OCCUPANCY GROUP: B

AREA SEPARATION:
ALLOWED (BUSINESS) 9,000 SQ FT - 2 STORIES X 2 = 18,000 SQ FT
ALLOWED (MERCANTILE) 9,000 SQ FT - 1 STORY X 2 = 18,000 SQ FT
NO SEPARATION REQUIRED

CONSTRUCTION TYPE: VB-SPRINKLED

OCCUPANT LOAD: 125
OFFICES: 7,598 / 100 = 76
RETAIL: 4,902 / 30 = 163
TOTAL = 239
ZONING: LC

LOT AREA:
GROSS SITE AREA: 65,210 SQ FT OR 1.50 ACRES
NET SITE AREA: 46,142 SQ FT OR 1.06 ACRES
LOT COVERAGE: 10.6%

PARKING CALCULATIONS
REQUIRED NUMBER OF SPACES: 12,500 / 275 = 46 SPACES
PATIO AREA: 620 / 200 = 3 SPACES
PARKING ALLOCATED TO SITE BY CENTER = 44 SPACES
7 ADDITIONAL SPACES ADDED, 3 SPACES DELETED
PROVIDED NUMBER OF SPACES: 150 SPACES

MAXIMUM ALLOWABLE HEIGHT: 2 STORIES

NOTES:

WATER SUPPLY FOR FIRE HYDRANTS. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APENDEX CHAPTERS B & C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OF DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1,500 gpm AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPTAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

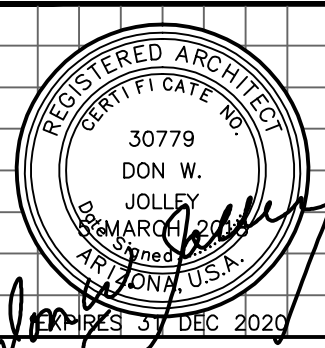
THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSUING THAT THE WATER SUPPLY IS AVAILABLE AT ALL TIMES. WHEN WORK IS COMPLETE, DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE AND THE VALVES ARE OPEN.

COPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, "SAFEGUARDS DURING CONSTRUCTION" AND IFC CHAPTER 14 AND NFPA 241, "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION".

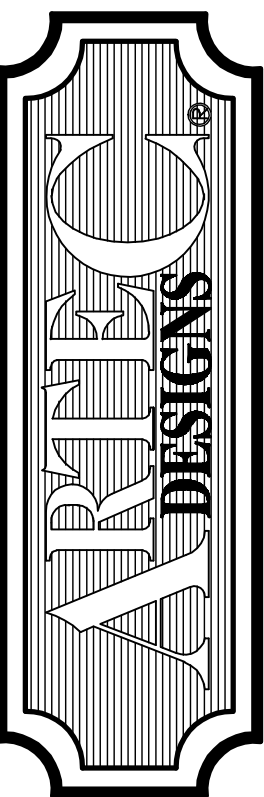


SITE PLAN

SCALE: 1" = 20'-0"



DON W. JOLLEY
ARCHITECT
480.560.7554
artecdesign@aol.com

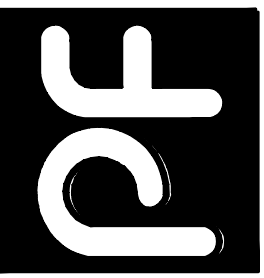


AQUA TOTS

1110 S. Greenfield Road Mesa, AZ 85206

PF design group

PH. 480-586-8119 PFdesigngroup@outlook.com



THESE DRAWINGS ARE NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER WITHOUT WRITTEN PERMISSION OF P.F. DESIGN-ARTEC DESIGNS. THESE DRAWINGS ARE THE PROPERTY OF P.F. DESIGN-ARTEC DESIGNS AND SHALL REMAIN THE PROPERTY OF P.F. DESIGN-ARTEC DESIGNS. ALL CONDITIONS AND ALL CONDITIONS AND ALL CONDITIONS ARE CONSTRUCTION.

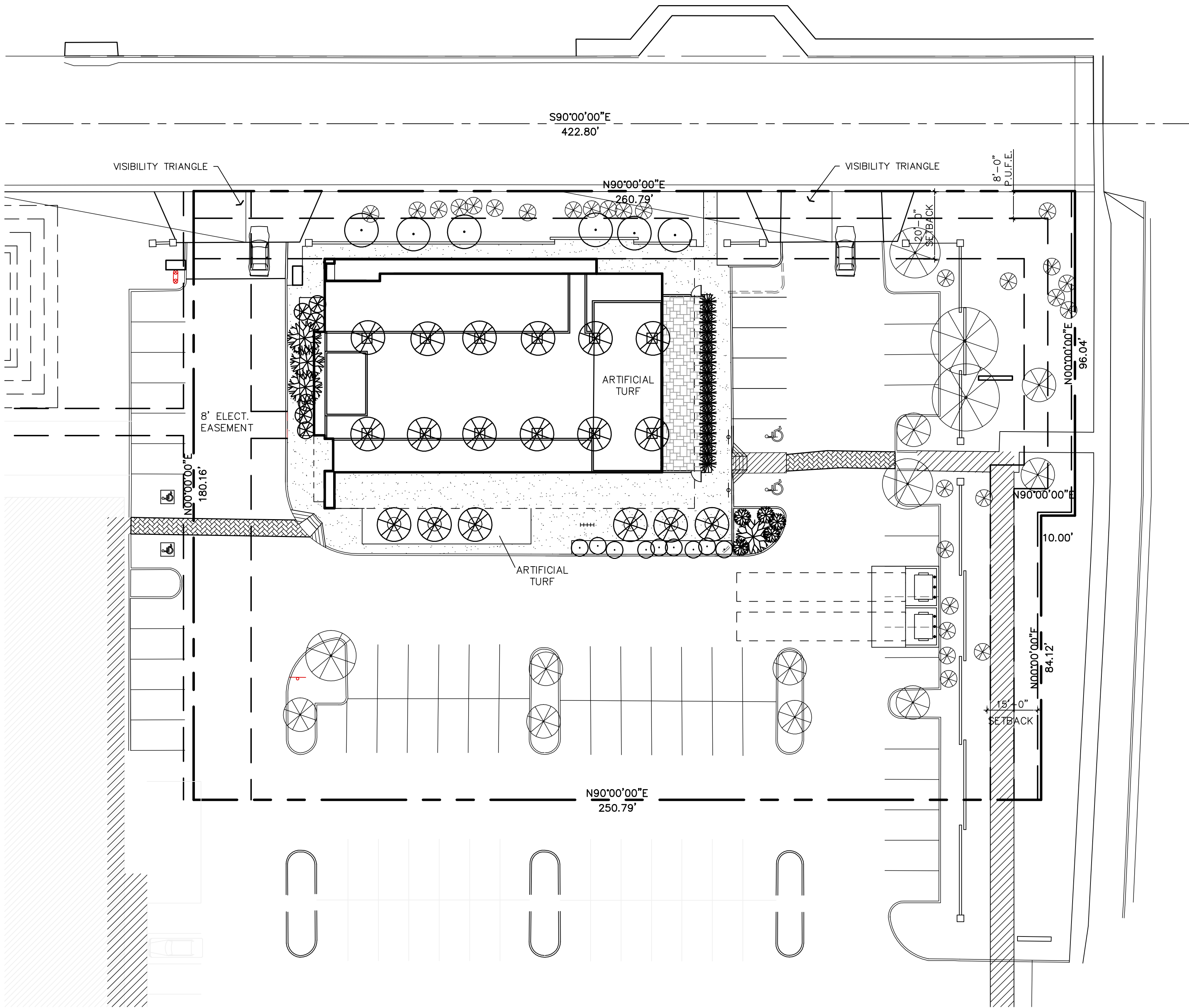
Scale: AS NOTED

Drawn: DWJ

Job: 1725

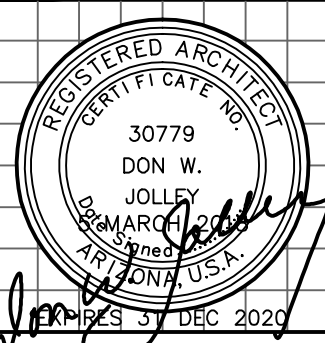
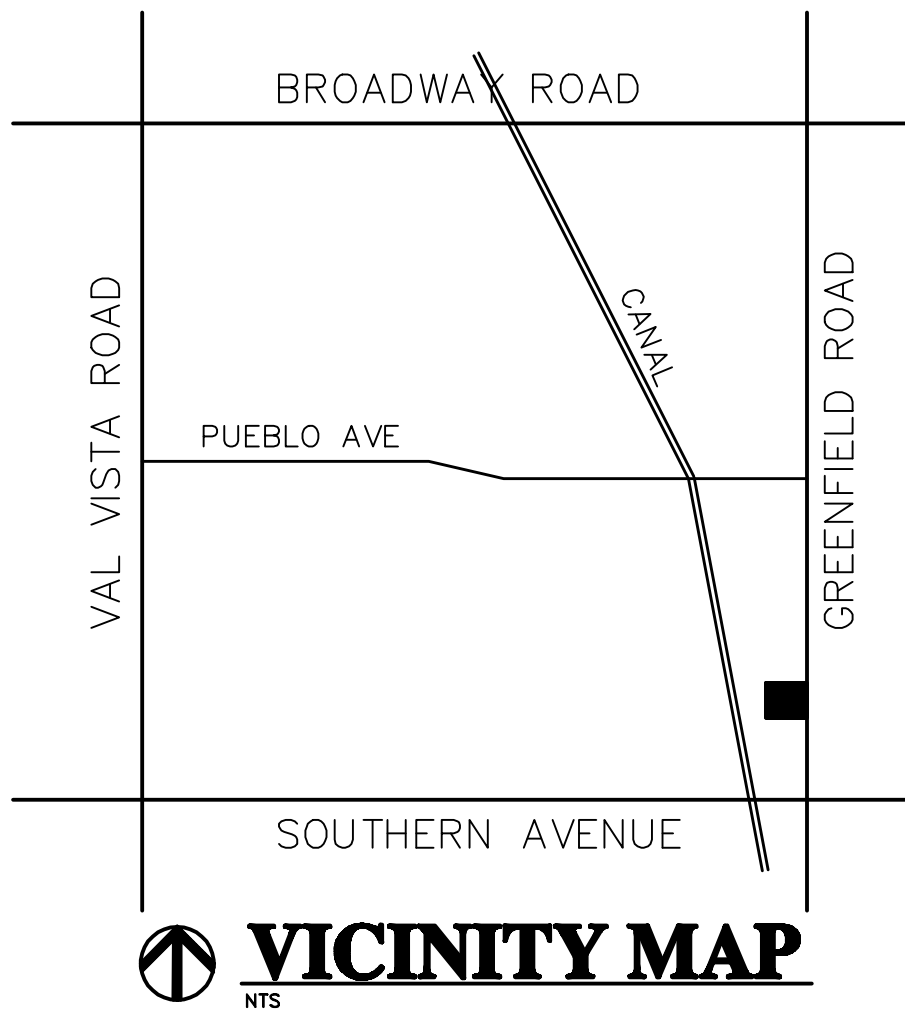
Sheet
A1
Of
Sheets

NOTES:
* IRRIGATION SYSTEM TO CONSIST OF AN AUTOMATIC DRIP SYSTEM FOR TREES AND SHRUBS WITH BACKFLOW PREVENTION ASSEMBLY.
* THE OWNNER SHALL BE RESPONSIBLE FOR ALL LANDSCAPE AREA AND MATERIALS TO BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, AND WEED-FREE CONDITION.
* PER IFC SECTION 508, POSTS, FENCES, VEHICLES, GROWTH, TRASH, STORAGE AND OTHER MATERIALS OR OBJECTS SHALL NOT BE PLACED OR KEPT NEAR THE FIRE HYDRANTS, FIRE DEPARTMENT INLET CONNECTIONS OR FIRE PROTECTION SYSTEM CONTROL VALVES IN A MANNER THAT WOULD PREVENT SUCH EQUIPMENT OR FIRE HYDRANTS FROM BEING IMMEDIATELY DISCERNIBLE. THE FIRE DEPARTMENT SHALL NOT BE DETERRED OR HINDERED FROM GAINING IMMEDIATE ACCESS TO FIRE PROTECTION EQUIPMENT OF FIRE HYDRANT.
* A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS EXCEPT WHERE OTHERWISE REQUIRED OR APPROVED.

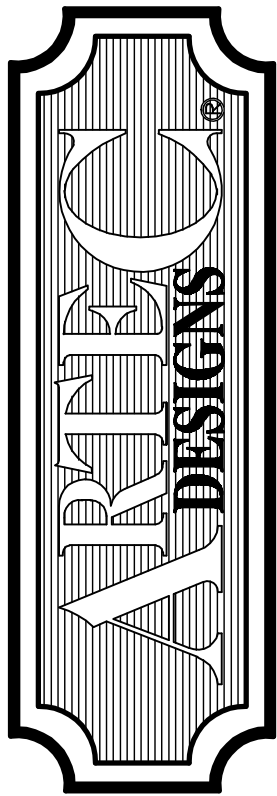


LANDSCAPE PALETTE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	#
	Indian Laurel Fig	Ficus microcarpa	24" Box	18
	Sweet acacia	Acacia farnesiana	24" Box	6
	Indian Laurel Fig	Ficus microcarpa	15 gal	4
	EXISTING			14
	Natal plum	Amatungula	1 gal	9
	Red bird of paradise	Caesalpinia pulcherrima	5 gal	5
	Rough horsetail	Equisetum hyemale	1 gal	17
	Feathery cassia	Cassia artemisioides	1 gal	17
	EXISTING			27



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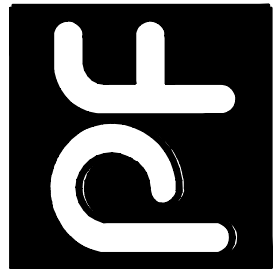


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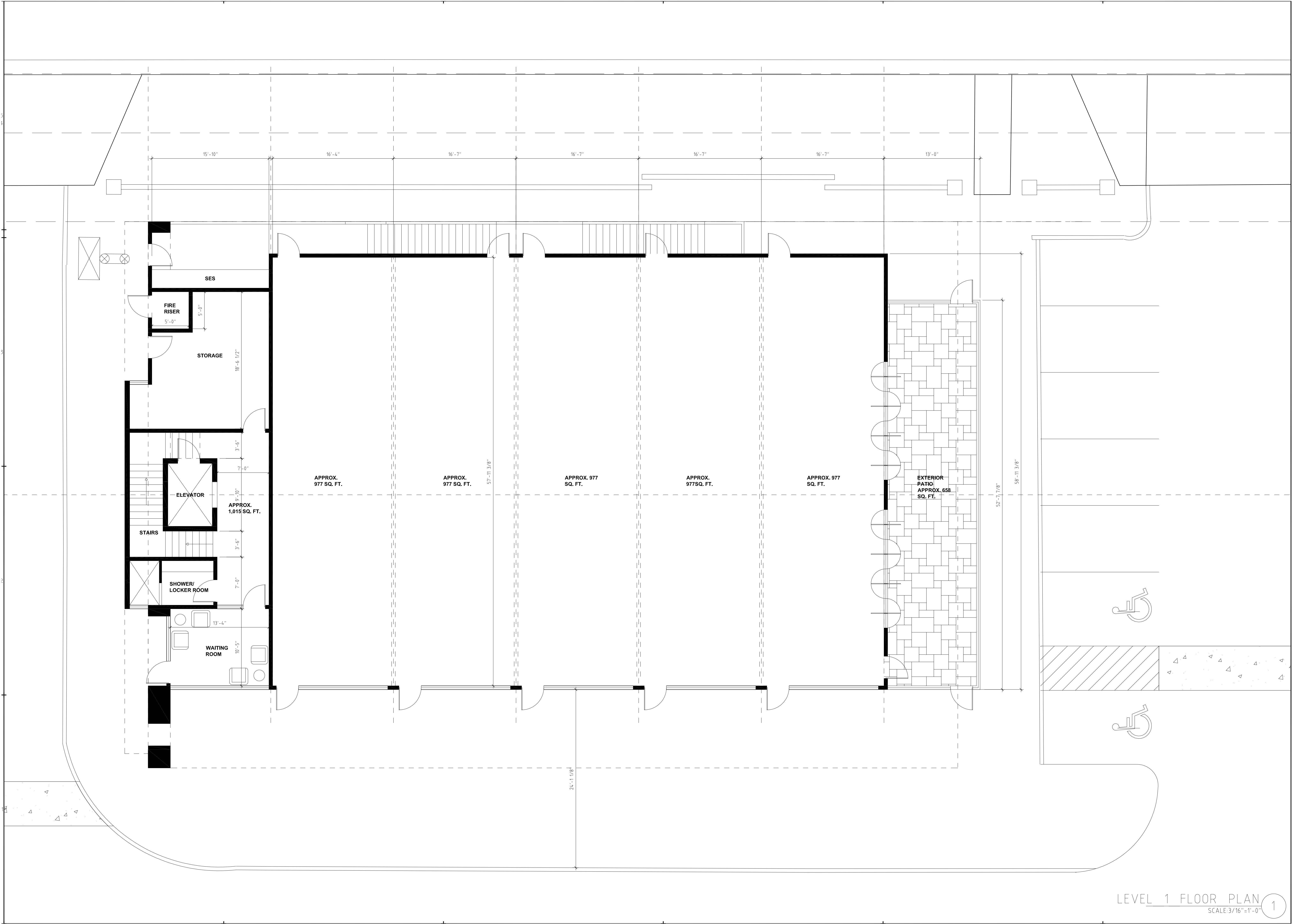
Drawn: DWJ

Job: 1725

Sheet

Of

Sheets



REGISTERED ARCHITECT

30779

DON W. JOLLEY

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ARIZONA, U.S.A.

EXPIRES 31 DEC 2020

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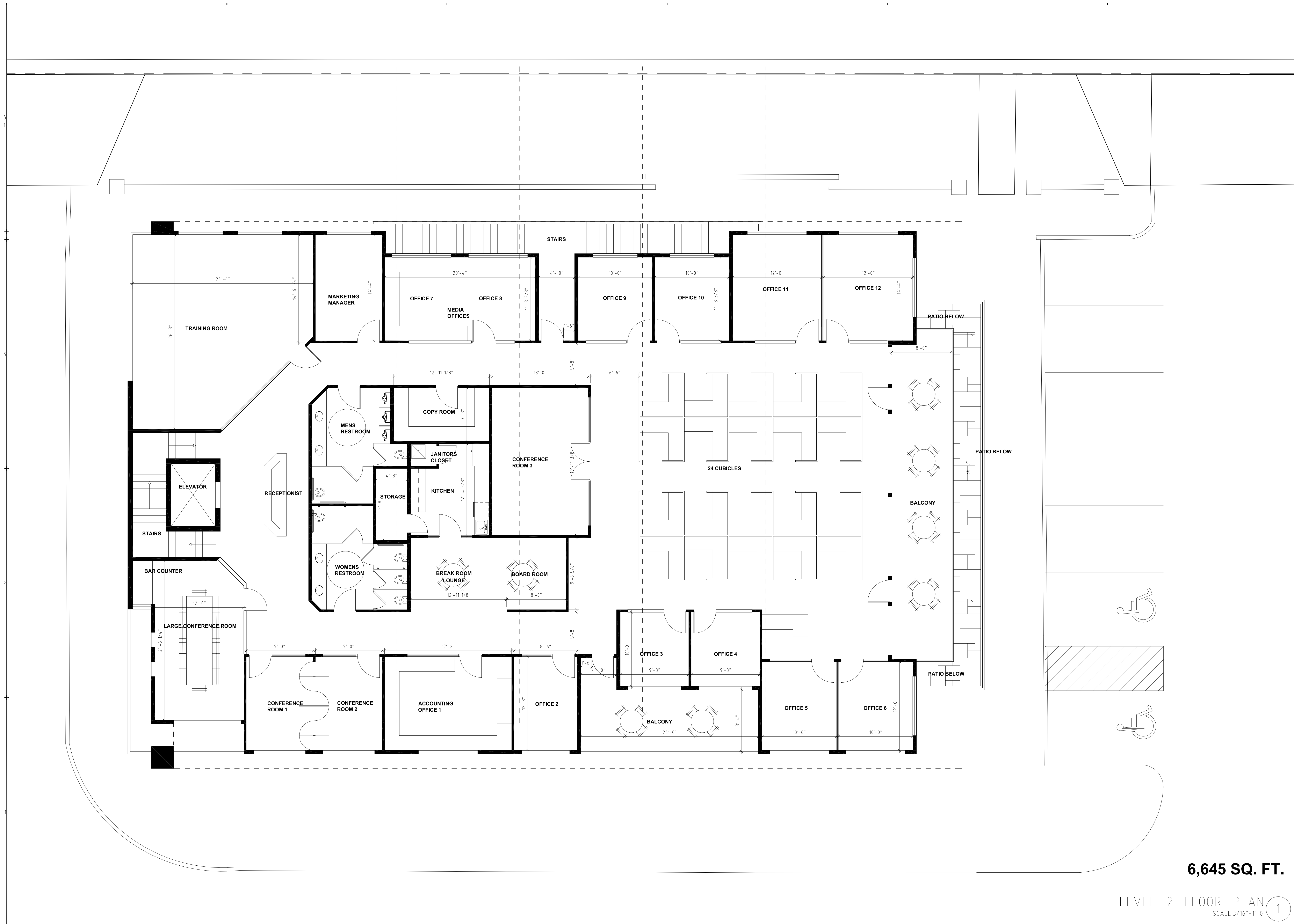
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LEVEL 1 FLOOR PLAN

SCALE: 3/16"=1'-0"

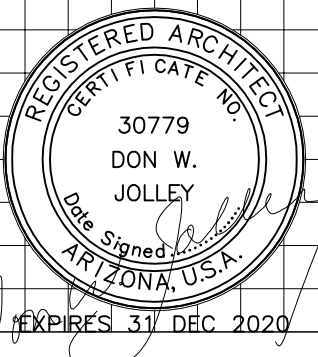
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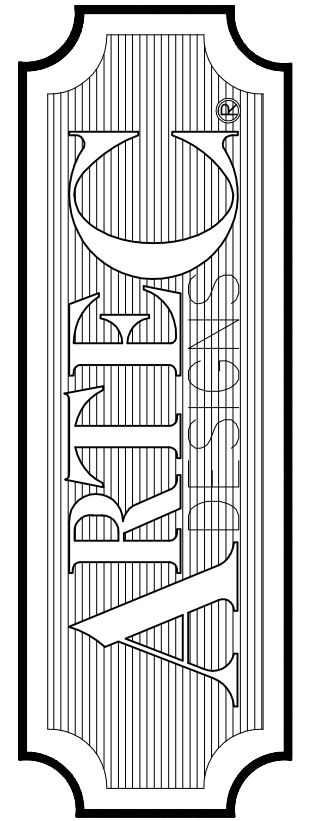
6,645 SQ. FT.

LEVEL 2 FLOOR PLAN
SCALE: 3/16"=1'-0"

1

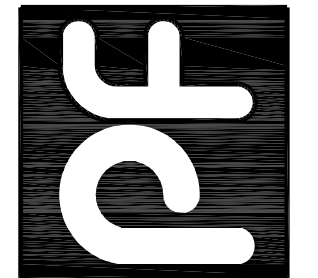


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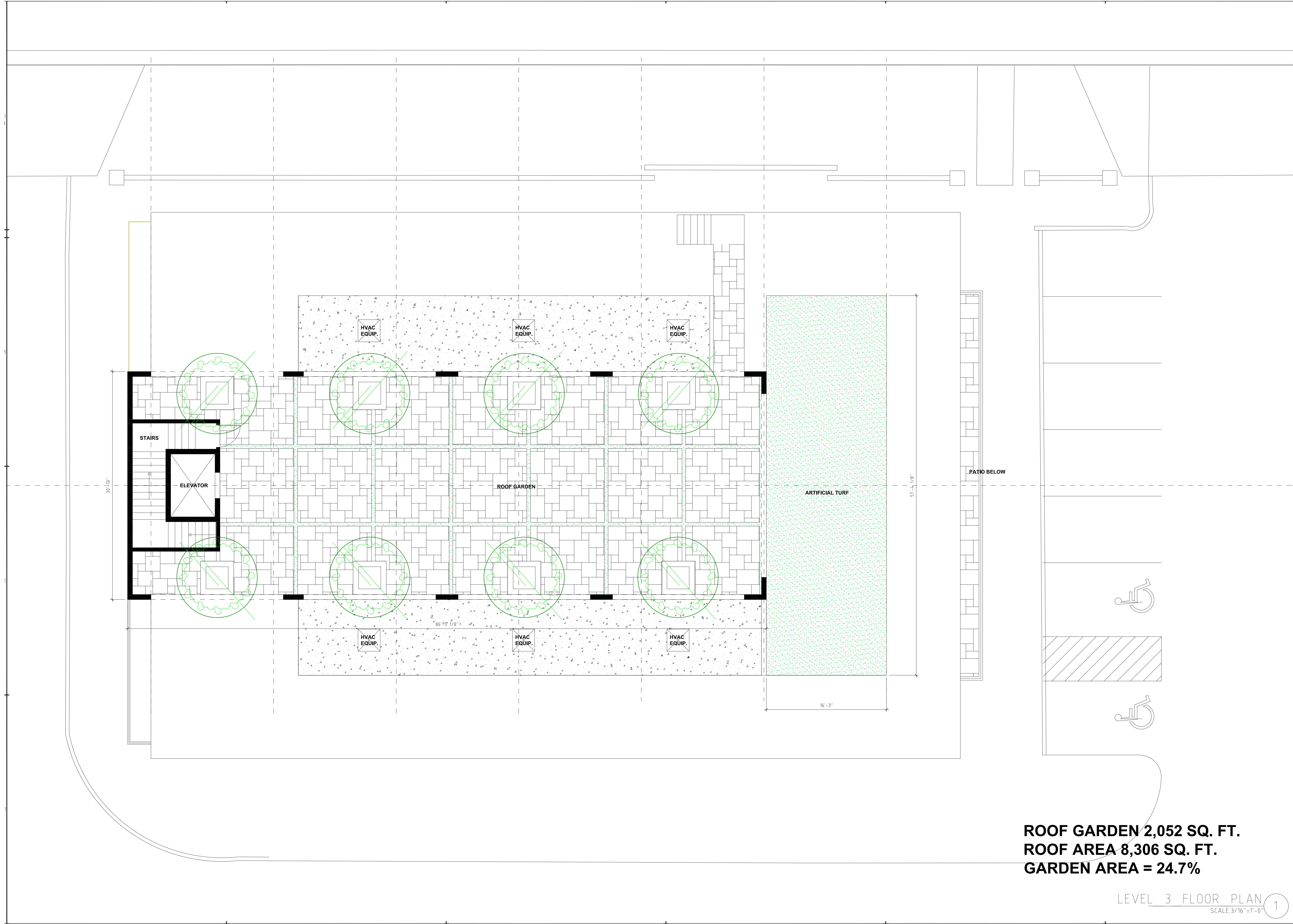
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Scale: AS NOTED

Drawn:

Job:

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A3.2
Of Sheets



ROOF GARDEN 2,052 SQ. FT.
ROOF AREA 8,306 SQ. FT.
GARDEN AREA = 24.7%

REGISTERED ARCHITECT
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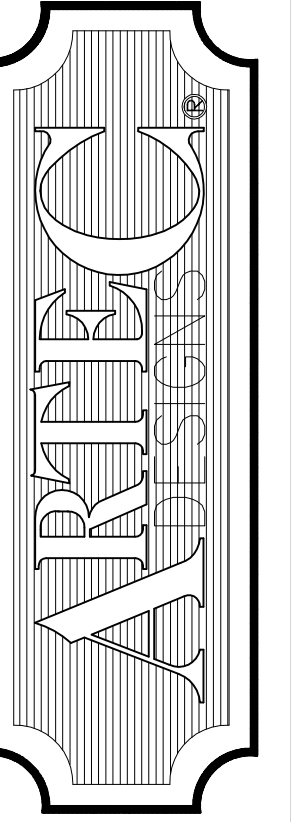
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Scale: AS NOTED

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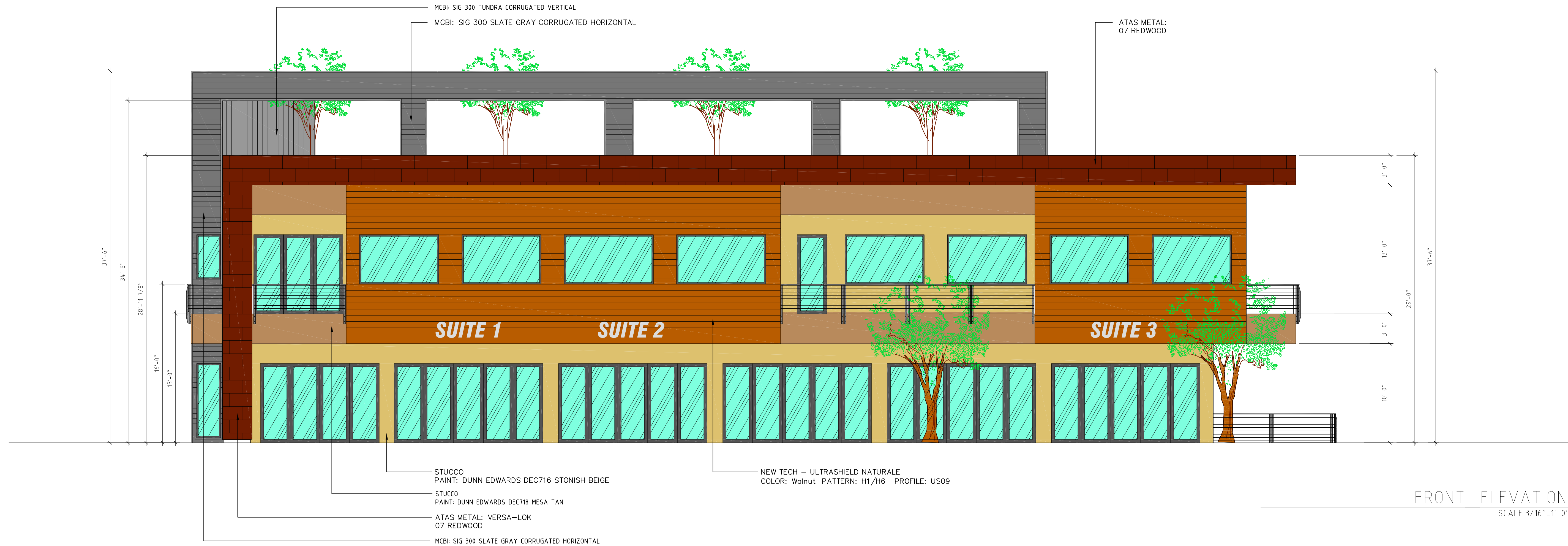
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A4



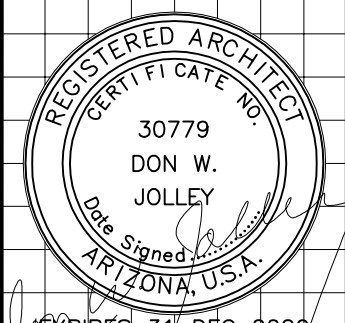
SIDE ELEVATION (2)
SCALE: 3/16" = 1'-0"



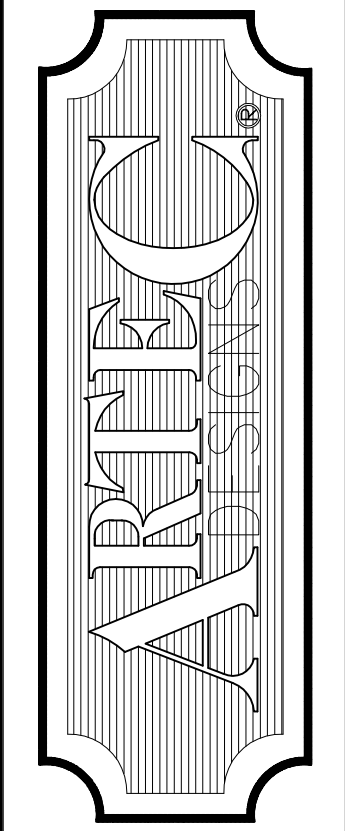
FRONT ELEVATION 1
SCALE: 3/16" = 1'-0"



SIDE ELEVATION 2
SCALE: 3/16" = 1'-0"



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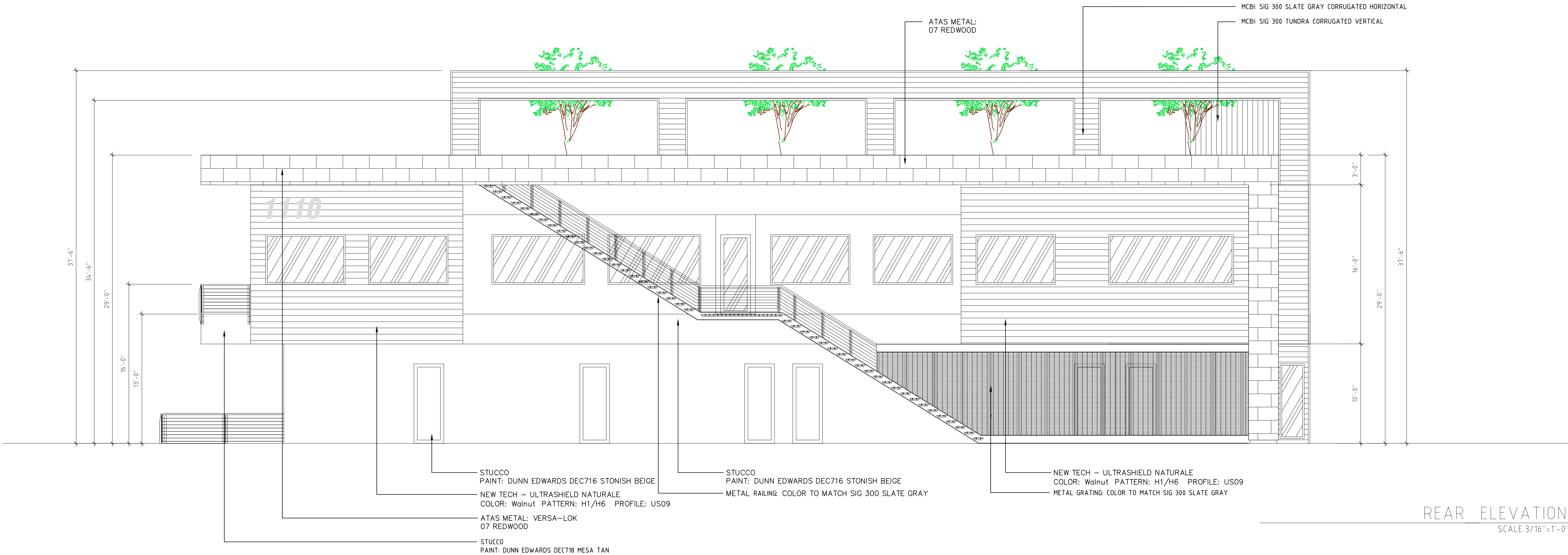


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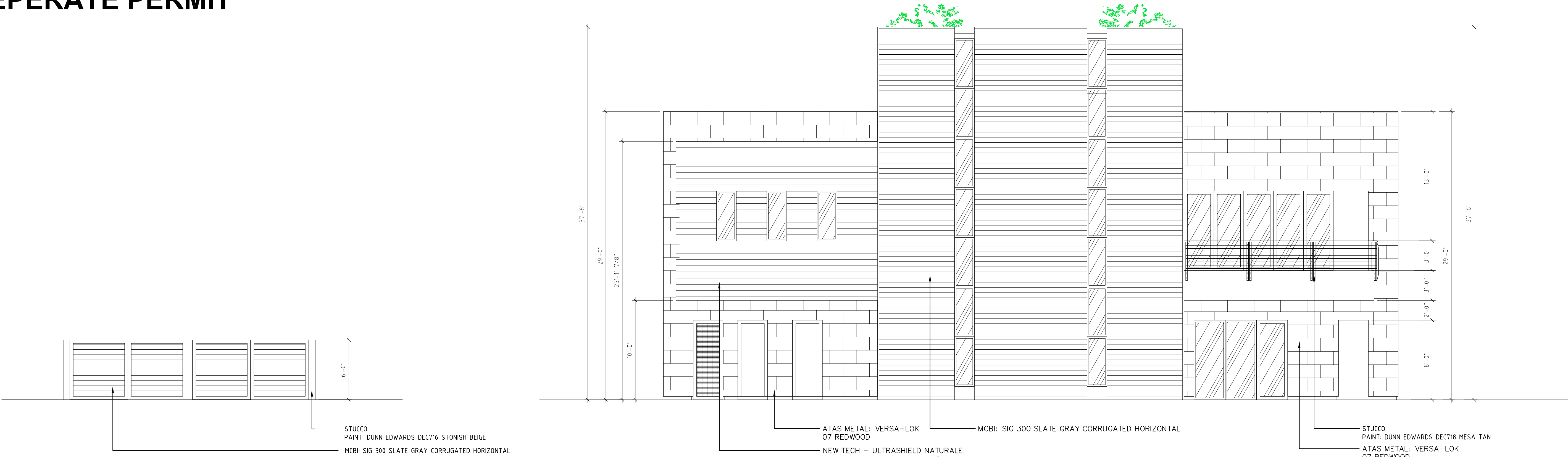
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Scale: AS NOTED
Drawn:
Job:
Sheet
Of **A4** Sheets



REAR ELEVATION 1
SCALE: 3/16" = 1'-0"

ALL SIGNAGE IS TO BE UNDER
SEPERATE PERMIT



SIDE ELEVATION 2
SCALE: 3/16" = 1'-0"

TRASH ENCLOSURE ELEVATION 3
SCALE: 3/16" = 1'-0"

REGISTERED ARCHITECT
CERTIFICATE NO.
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DESIGNED IN
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EXPIRES 31 DEC 2020

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Job:

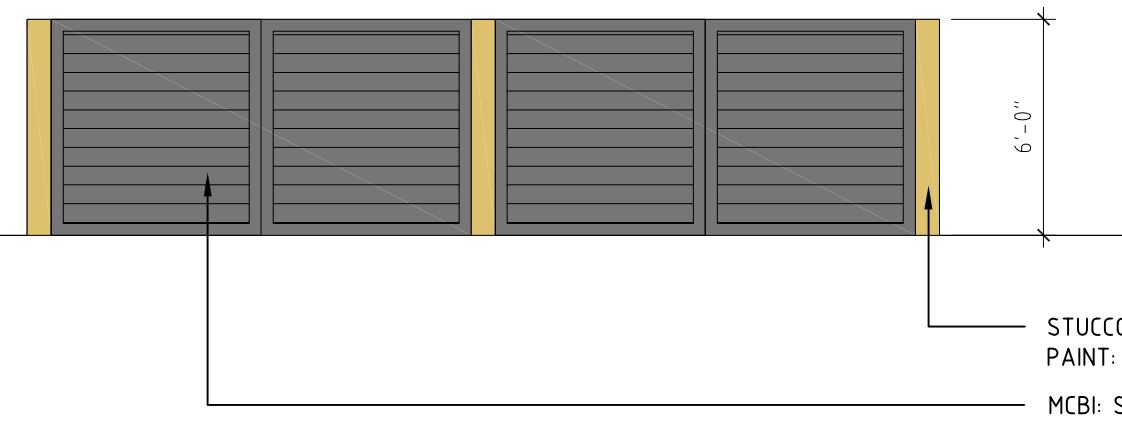
Sheet
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Of Sheets



REAR ELEVATION 1
SCALE: 3/16" = 1'-0"



SIDE ELEVATION 2
SCALE: 3/16" = 1'-0"



TRASH ENCLOSURE ELEVATION 3
SCALE: 3/16" = 1'-0"

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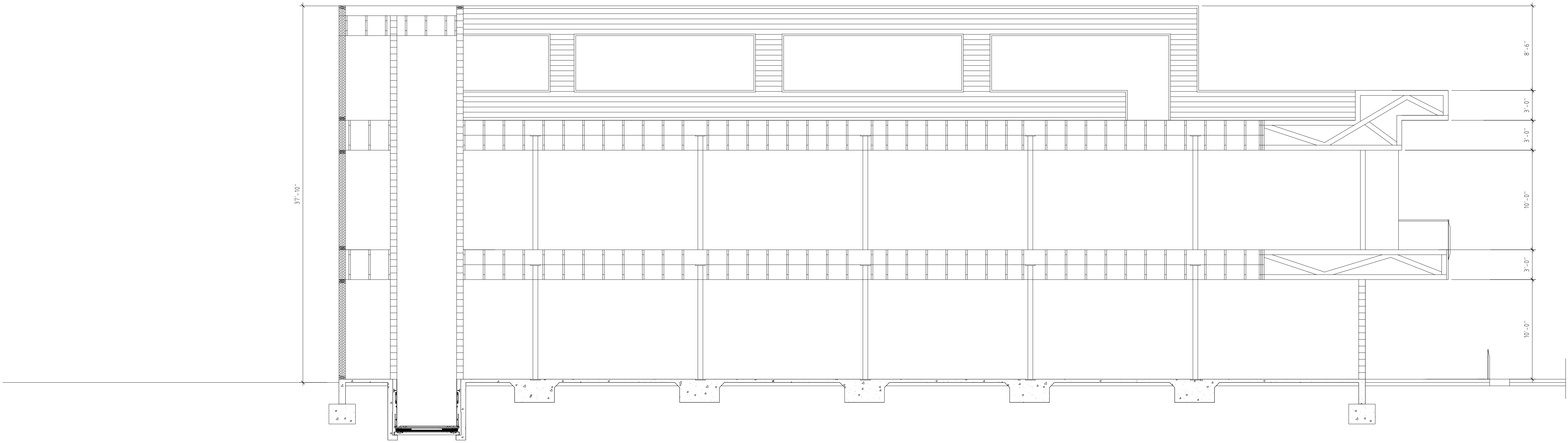
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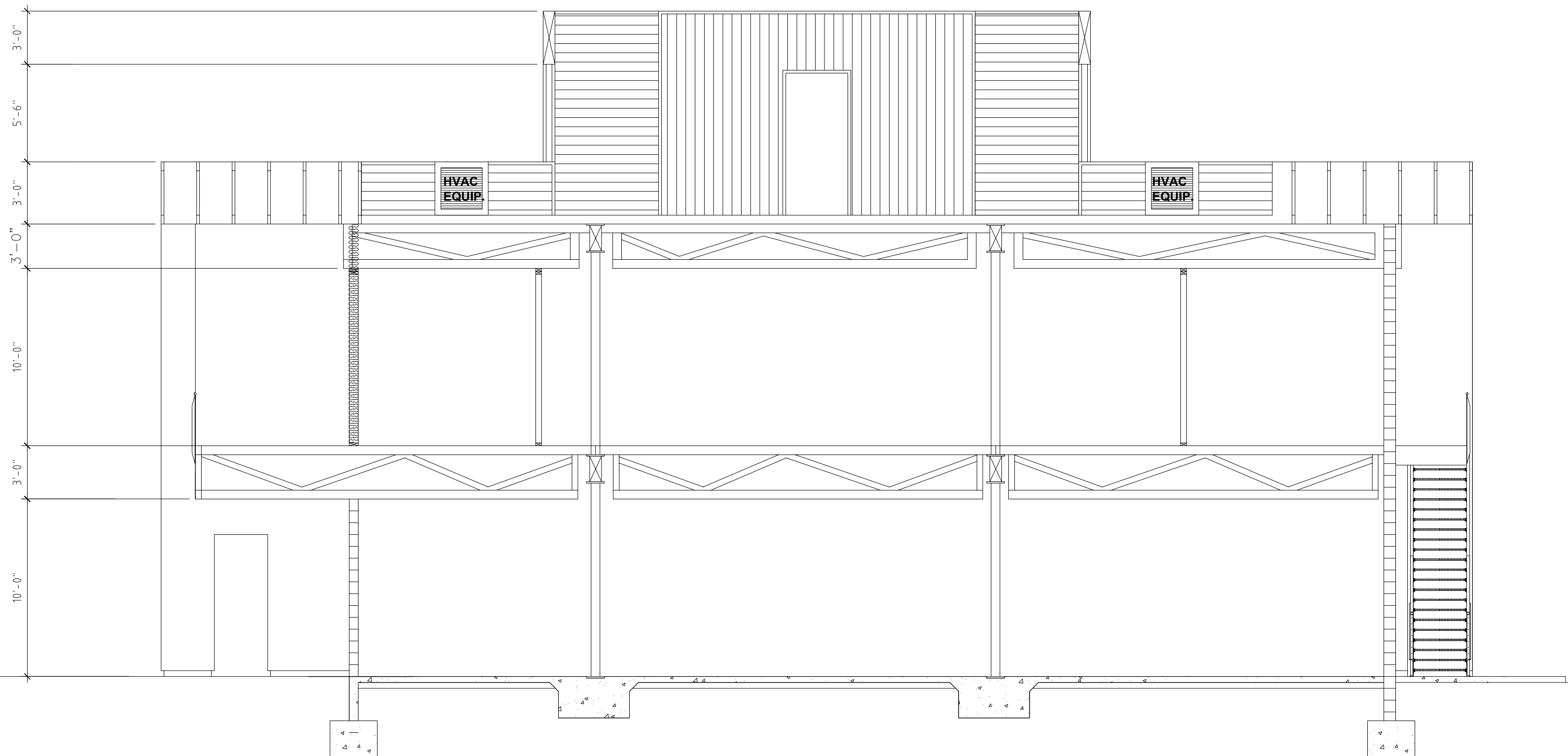
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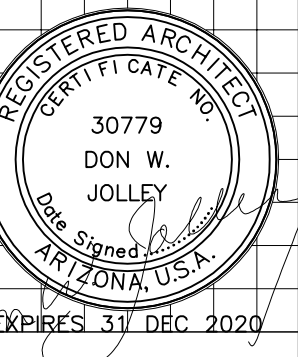
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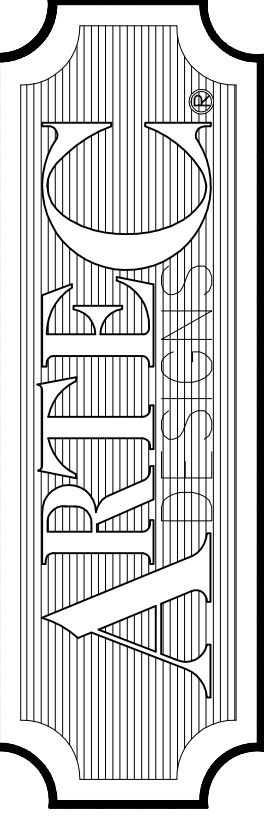
SECTION 2
SCALE: 1/4" = 1'-0"



SECTION 1
SCALE: 1/4" = 1'-0"

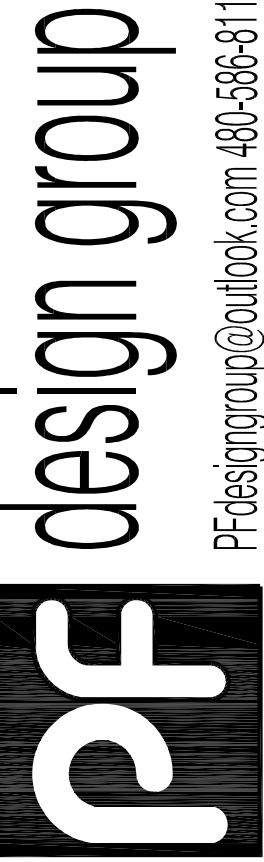


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Scale: AS NOTED

Drawn:

Job:

Sheet

Of **A8** Sheets